

City of Bethlehem, Pennsylvania

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Building address 143 West Broad Street, Bethlehem, PA

Owner of building Skyline West, LLC Phone 1

Owner's email & mailing address _____

Applicant Skyline West, LLC Phone: _____

Applicant's email & mailing address _____

Street and Number City State Zip Code

APPLICANT MUST ATTEND MEETING FOR CASE TO BE HEARD.
USE THE CHECKLIST ON THE BACK OF THIS APPLICATION TO ENSURE YOUR SUBMISSION IS COMPLETE.

Historic & Architectural Review Board – Application form, photographs, and drawings (if necessary) must be submitted by **12:00 Noon** on the last Wednesday of the month in order to be placed on the agenda for the next meeting.

South Bethlehem & Mount Airy Historic Conservation Commission - Application form, photographs, and drawings (if necessary) must be submitted by **12:00 noon** on the second Monday of the month in order to be placed on the agenda for the next meeting.

1. **PHOTOGRAPHS** - Photographs of your building and neighboring buildings **must accompany** your application.

2. **TYPE OF WORK PROPOSED** – Check all that apply. Please bring any samples or manufactures specifications for products you will use in this project.

<input type="checkbox"/> Trim and decorative woodwork	<input type="checkbox"/> Skylights
<input type="checkbox"/> Siding and Masonry	<input type="checkbox"/> Metal work
<input type="checkbox"/> Roofing, gutter and downspout	<input type="checkbox"/> Light fixtures
<input type="checkbox"/> Windows, doors, and associated hardware	<input type="checkbox"/> Signs
<input type="checkbox"/> Storm windows and storm doors	<input type="checkbox"/> Demolition
<input type="checkbox"/> Shutters and associated hardware	<input checked="" type="checkbox"/> Other <u>New construction</u>
<input type="checkbox"/> Paint (Submit color chips – HARB only)	

3. **DRAWINGS OF PROPOSED WORK** – Required drawings **must accompany** your application. Please submit **ONE ORIGINAL AND TEN (10) COPIES OF DRAWINGS, PHOTOGRAPHS, APPLICATION FORM, AND ANY SPECIFICATIONS**

Alteration, renovation, restoration (1/4 or 1/8"=1'0" scale drawings required IF walls or openings altered.)

New addition (1/4" or 1/8"=1'0" scale drawings: elevations, floor plans, site plan)

New building or structure (1/4" or 1/8"=1'0" scale drawings: elevations, floor plans, site plan)

Demolition, removal of building features or building (1/4" or 1/8"=1'0" scale drawings: elevation of remaining site and site plan)

A scale drawing, with an elevation view, is required for all sign submittals

4. **DESCRIBE PROJECT** – Describe any work checked in #2 and #3 above. Attach additional sheets as needed.

Please see the attached project description.

5. **APPLICANT'S SIGNATURE** J.M. Pal, MEMBER **DATE:** 2/27/18

CERTIFICATE OF APPROPRIATENESS APPLICATION
SKYLINE WEST

143 W. Broad Street



Front image

Broad St. Bridge over Monocacy Valley on left
Bridge over PA 378 on right

Approach from West Side
Taken 2/23/18



Approach from West Side
Taken 11/26/17



Approach from East Side
Taken 2/23/18



Approach from East Side

Taken 11/26/17



Rear and east side of House

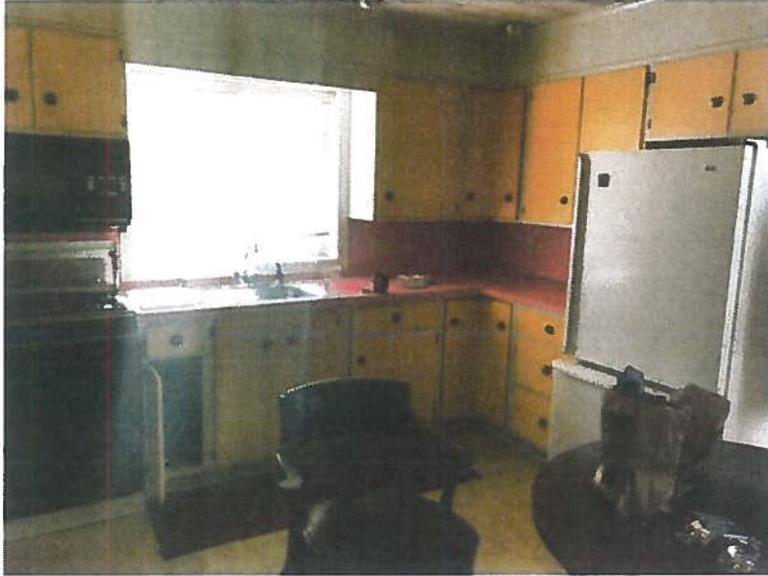


Out building - Garage



143 W. Broad Street
Interior photographs

Kitchen



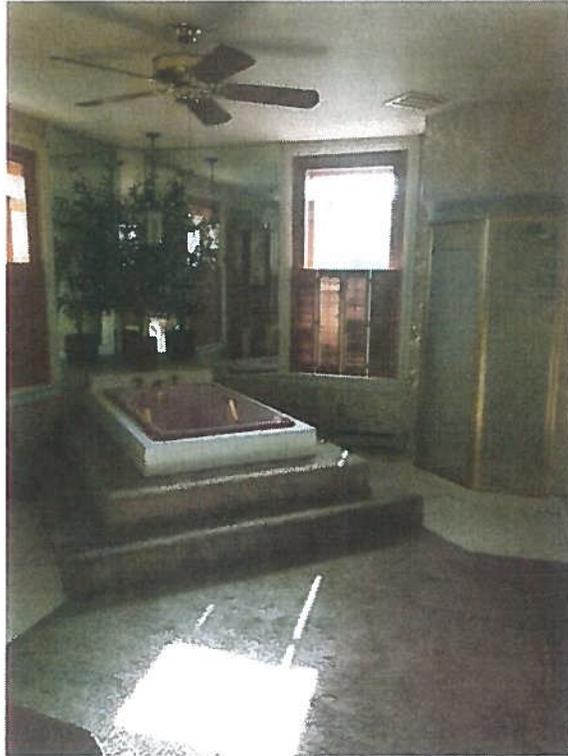
Living Room



Second Floor Hallway



Bathroom (2nd Floor)



SKYLINE WEST

COMMUNITY PRESENTATION | FEBRUARY 20, 2018

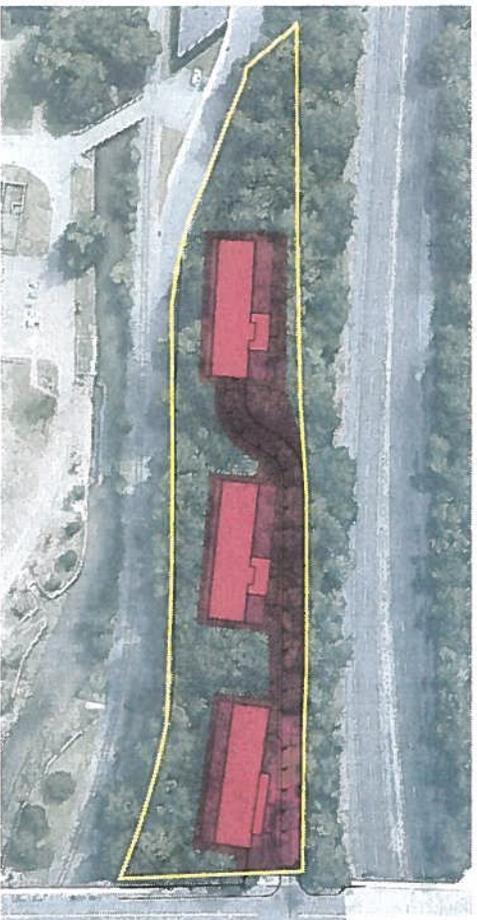
SITE & CONTEXT



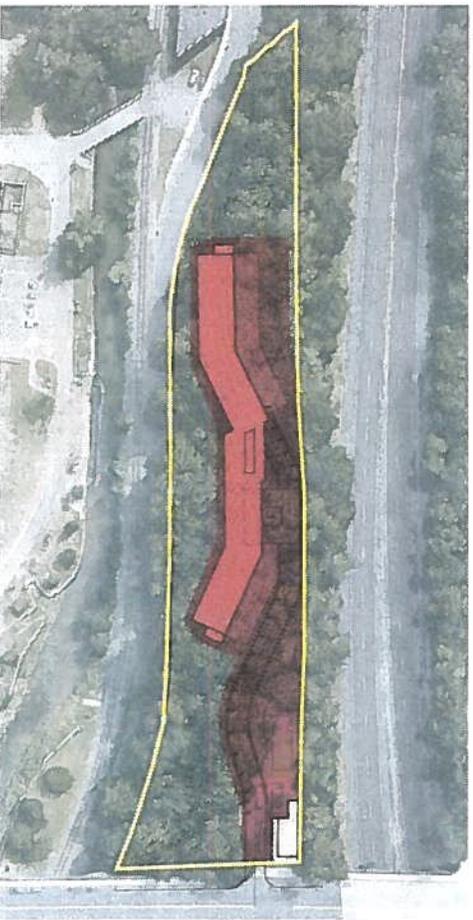
PREVIOUS SITE STUDY



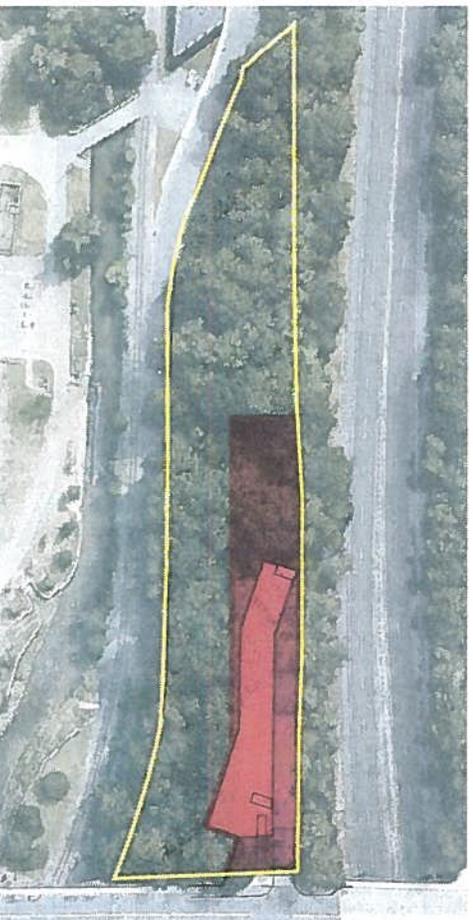
PREVIOUS SITE STUDY

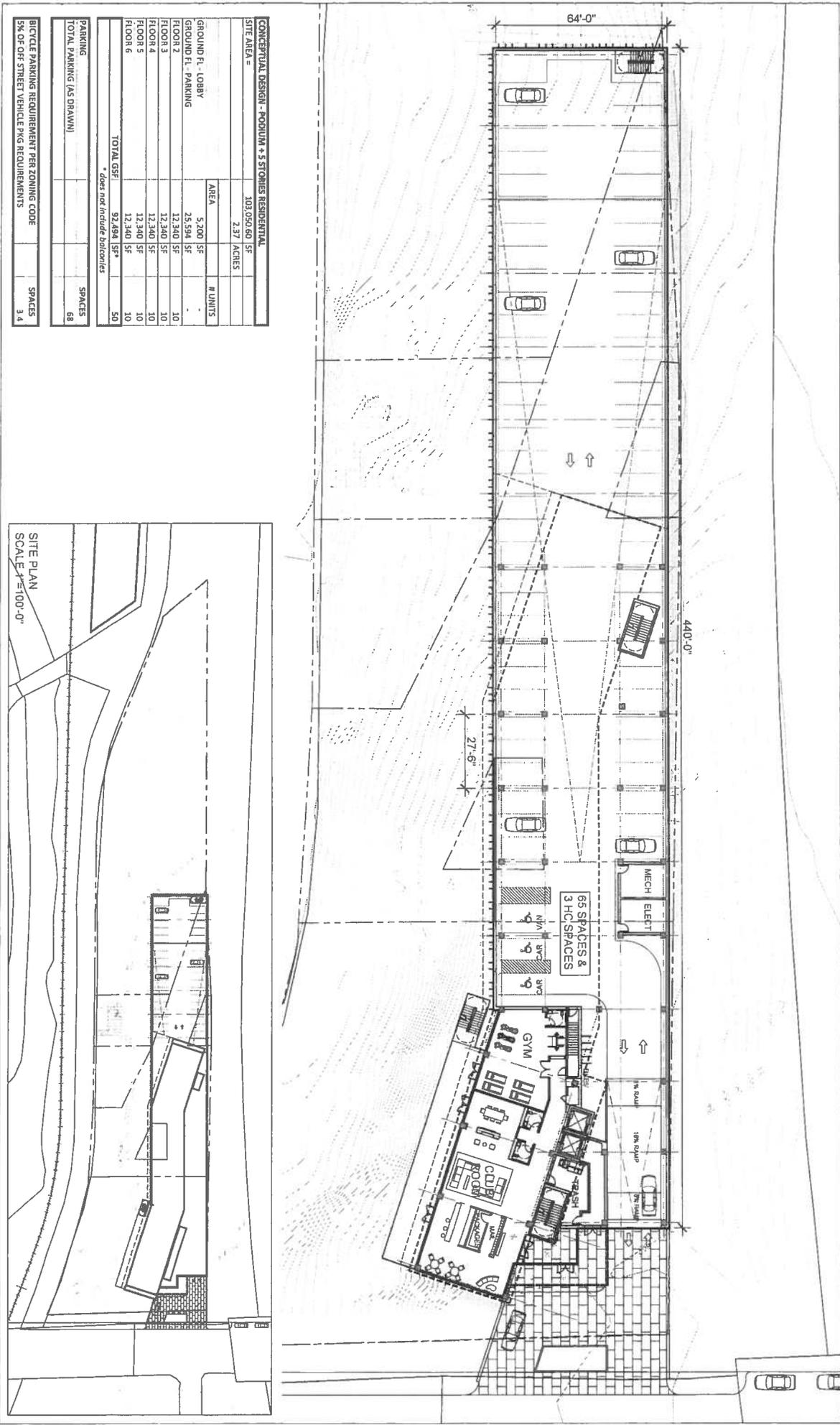


PREVIOUS SITE STUDY



CURRENT PLAN





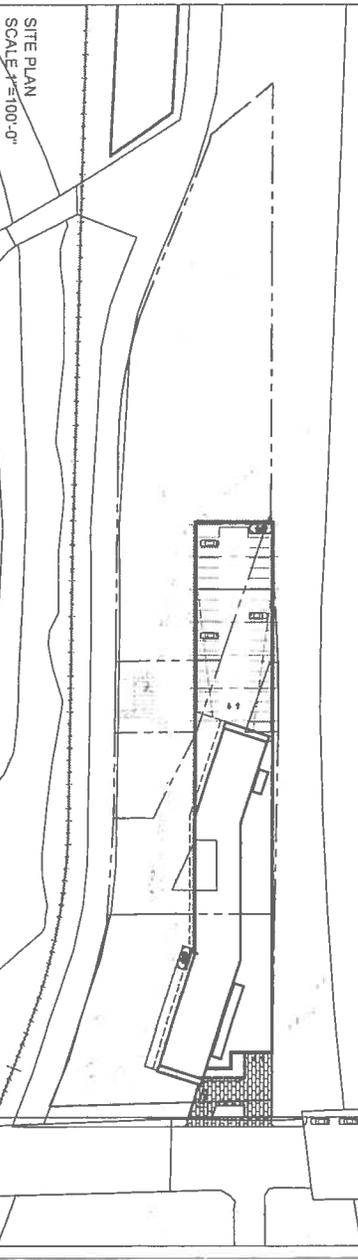
CONCEPTUAL DESIGN - PODIUM + 5 STORIES RESIDENTIAL

SITE AREA =	103,050.60 SF	
	2.37 ACRES	
		# UNITS
GROUND FL. LOBBY	5,200 SF	
GROUND FL. PARKING	25,594 SF	
FLOOR 2	12,340 SF	10
FLOOR 3	12,340 SF	10
FLOOR 4	12,340 SF	10
FLOOR 5	12,340 SF	10
FLOOR 6	12,340 SF	10
TOTAL GSI*	92,494 SF*	50

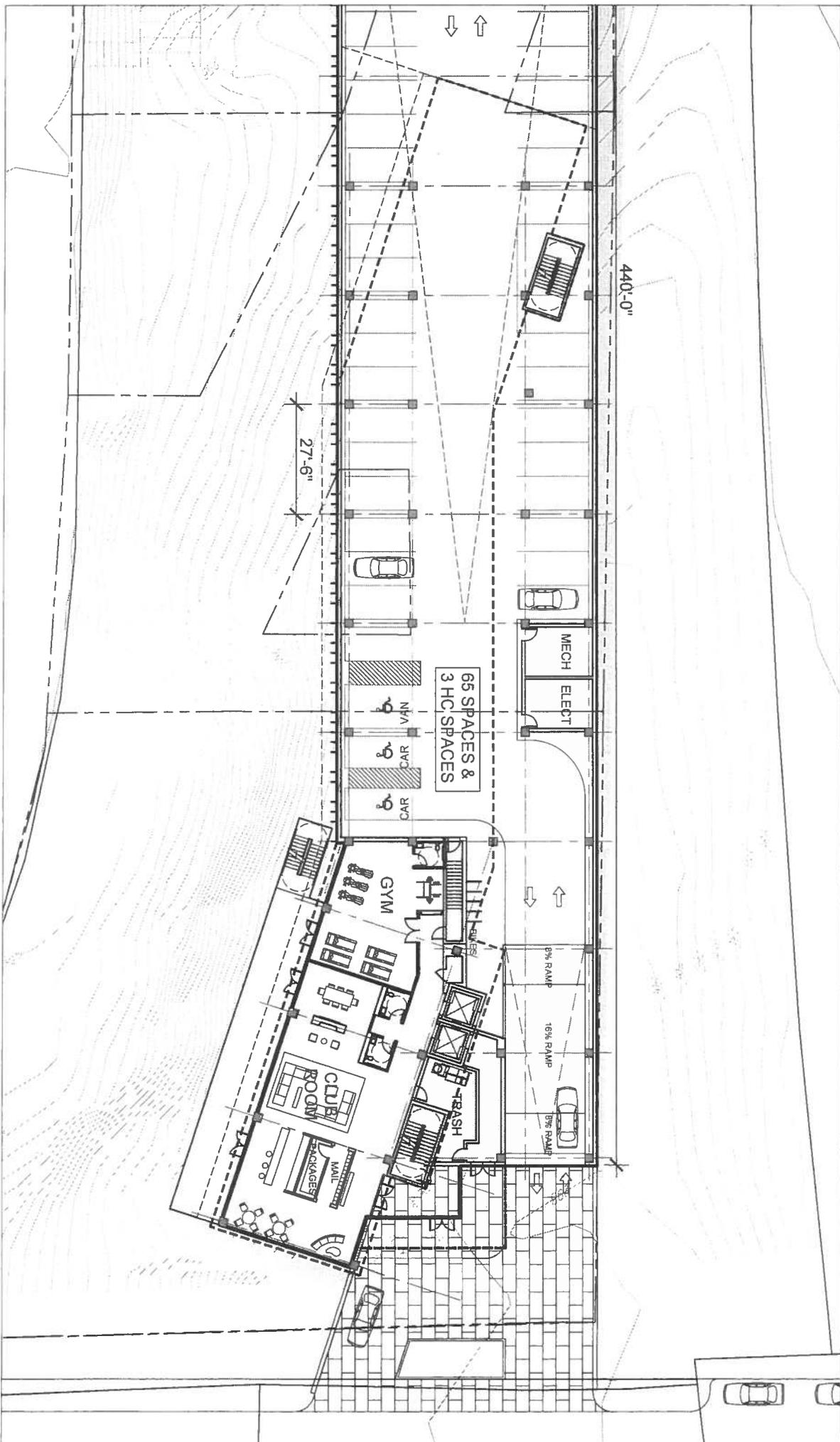
* does not include balconies

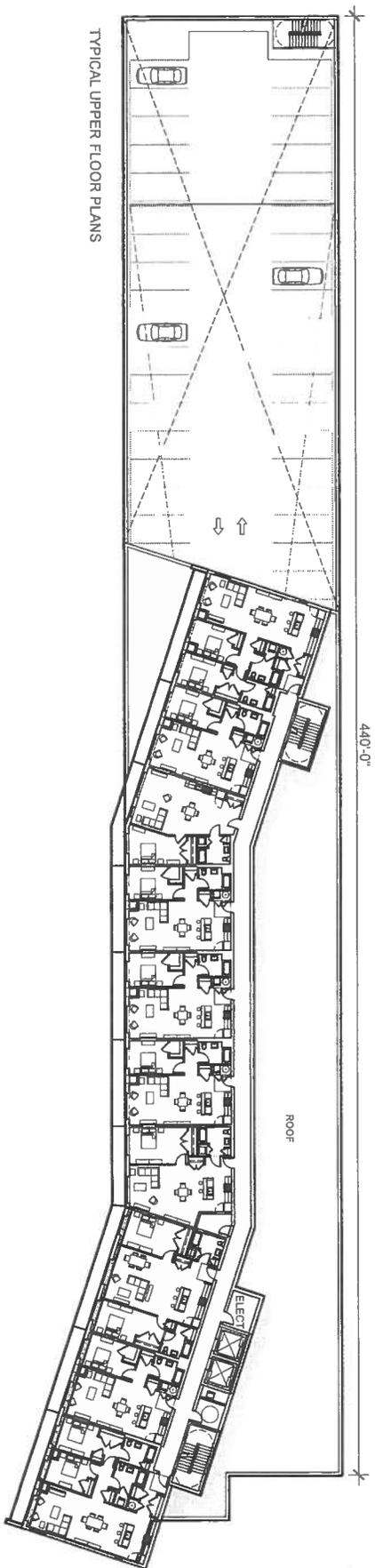
PARKING		SPACES
TOTAL PARKING (AS DRAWN)		68

BICYCLE PARKING REQUIREMENT PER ZONING CODE	SPACES
5% OF OFF-STREET VEHICLE PKG REQUIREMENTS	3.4



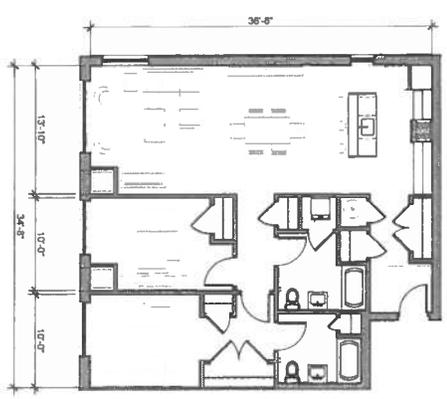
SITIO GROUND FLOOR PLAN
SCALE 1/32"=1'-0"



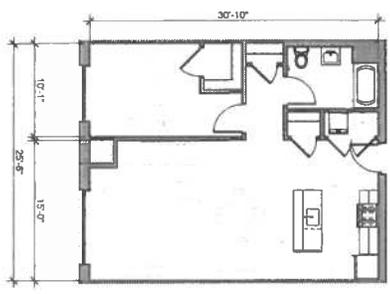


TYPICAL UPPER FLOOR PLANS

TYPICAL UNIT PLANS

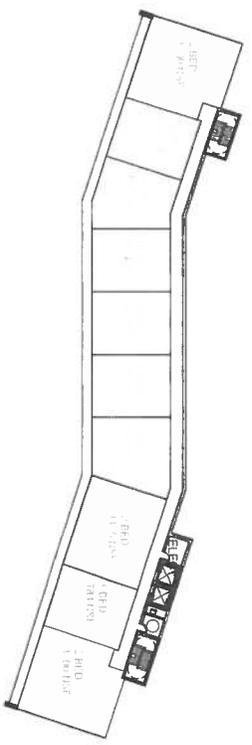


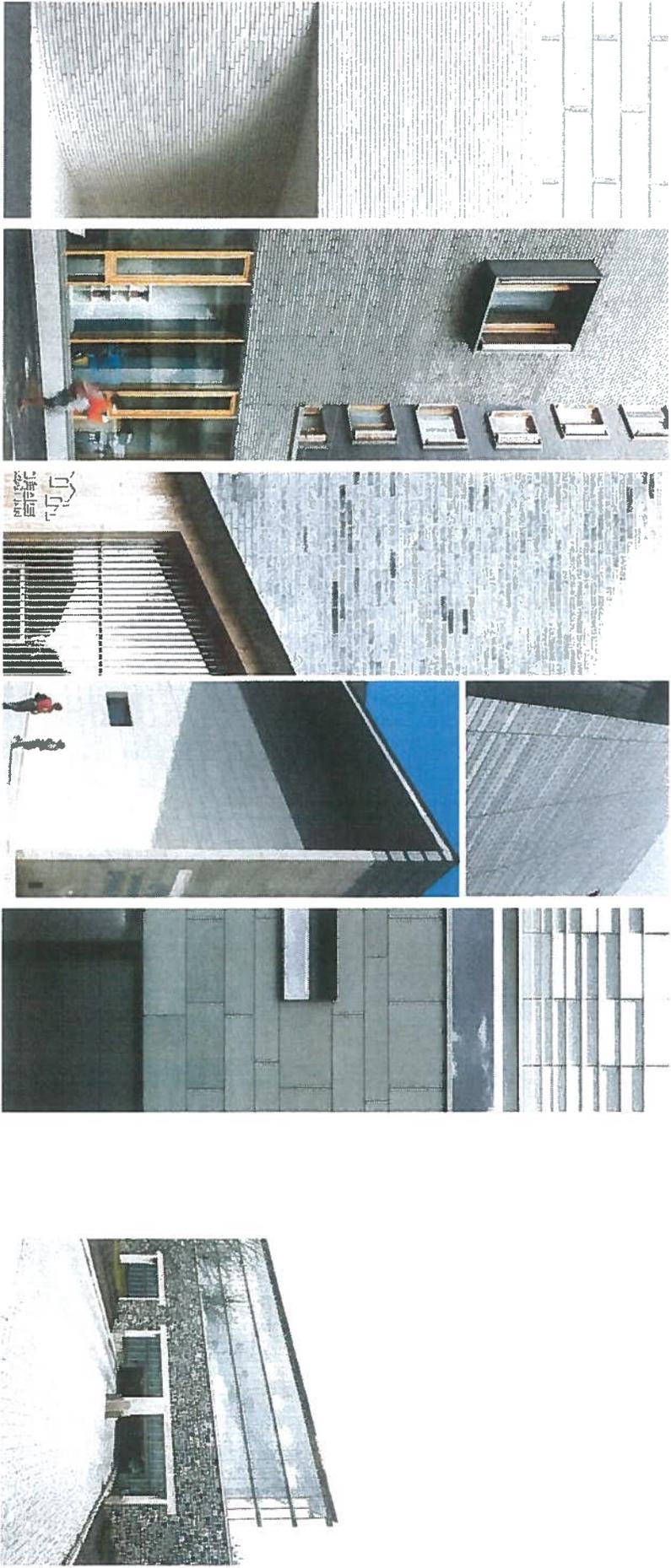
2 BEDROOM / 2 BATH
1210 NSF



1 BEDROOM / 1 BATH
785 NSF

UNIT KEY

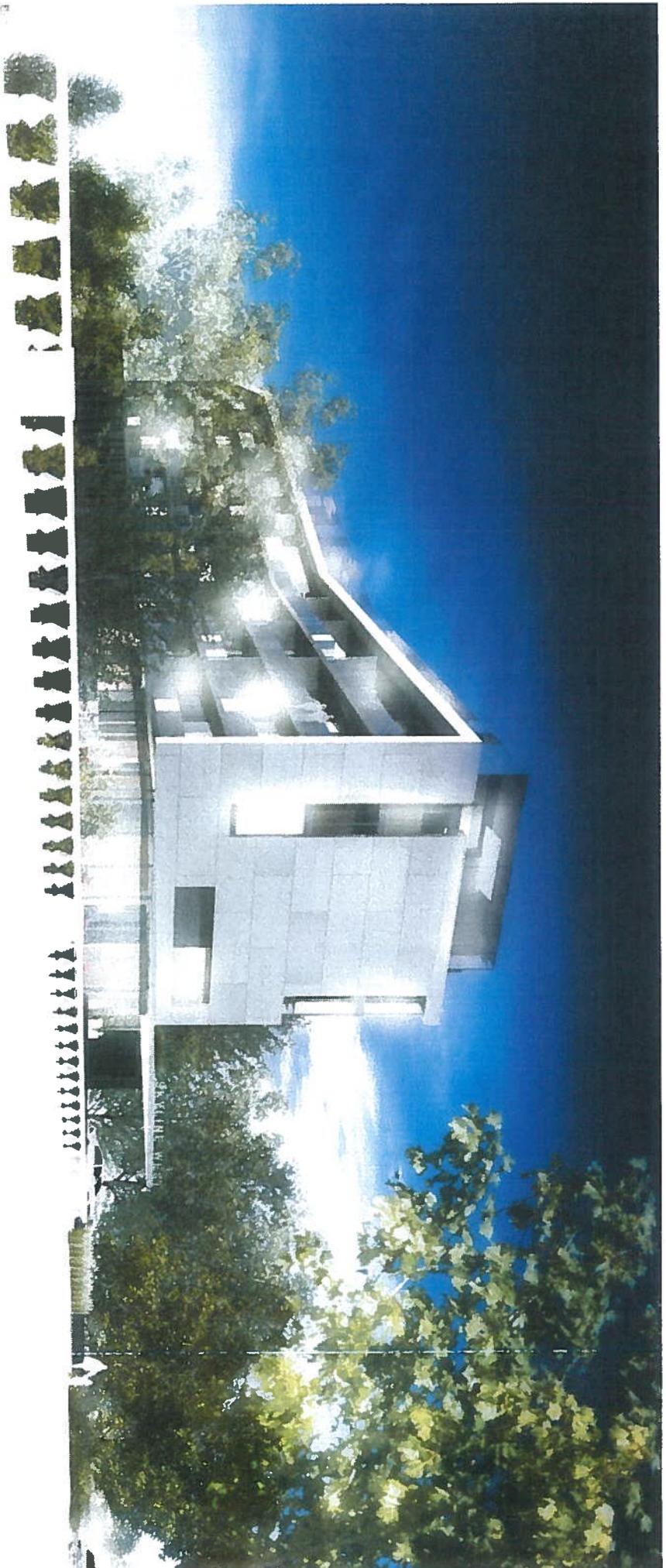




SKYLINE WEST | MATERIALS



BETHLEHEM | MATERIALS





SITIO
architectural - urbanism

ENTRY COURT VIEW
SKYLINE WEST | FEBRUARY 20 2018



APPLICATIONS OF SKYLINE WEST, LLC
BETHLEHEM HISTORIC & ARCHITECTURAL REVIEW BOARD
143 W. BROAD STREET

APPLICATIONS FOR: COA – DEMOLITION OF EXISTING BUILDINGS (HOUSE & GARAGE)
COA – NEW CONSTRUCTION, APARTMENT BUILDING

4. DESCRIBE PROJECT: This document is being submitted in answer to both applications cited above as the demolition and new construction are all part of one project, a multi-family apartment building with parking deck titled Skyline West.

A bit of history: The concept of an Old and Historic District was first proposed for Bethlehem in “An Interim Report on the City of Bethlehem” issued to the Bethlehem Redevelopment Authority in 1956 by Clarke & Rapuano, the New York based consultants hired to re-imagine the downtowns of Bethlehem in the post-World War II era. By 1961, with assistance of Bethlehem Steel, Pennsylvania’s Historic District law was passed and later that year Bethlehem created the Bethlehem Historic District, which extended from the Lehigh River to Walnut Street (except between Guetter and First Avenue where the district was extend one-half block north to Broad Street). In the same report the consultants called for a new city government complex at New and Church Streets and for a series of roads that would make access to the downtowns easier. One of those roads became Route 378, which was completed in 1968, seven years after the Bethlehem Historic District was established.

House: Route 378 extended from the Hill to Hill Bridge south through a portion of the Historic District between First Avenue and the Monocacy Creek, effectively creating a peninsula of highland extending south from Broad Street between 378 and the Monocacy valley to where it becomes close to creek level at the juncture of Conestoga Street and Spring Streets. 143 W. Broad Street is the only house remaining on that peninsula, cut off from neighboring homes on Broad Street (which were removed for the road) and the alley that existed behind the property. The effect is that the home, regardless of its condition, is no longer contributing to the historic district, as it has been segregated from the district and has no immediate context, historic or otherwise, on either side as it sits on a peninsula at the northern border of the historic district. (To be precise the house is between a right of way for a 4 lane controlled access highway and a street adjacent to a railroad track next to a creek.)

Alternatives to Demolition: Skyline West, LLC has sought alternatives to demolition of the house. There are precious few lots available in the historic district or the vicinity of the property on which to move the building. A lot at Second Avenue and Prospect Avenue, only three blocks from the site was investigated. However even if the house could fit on the lot, subject to setback standards, the moving of the house would cause serious damage to the trees on Second Avenue due to the width of the house and the size of the mature trees. If a party with an alternative plan seeks to purchase and move the house, the developer is amenable to that and has said so publicly.

Skyline West will document the house in accordance with professional standards and file said documentation with the Pennsylvania Historic and Museum Commission and the City of Bethlehem. While it is questionable that the house contains materials that would be of use to those remodeling historic homes due to the many alterations that have been made to the interior and exterior of the property (see photos), the developers will make selected interior and exterior historical elements available to Allentown Preservation League for their salvage service.

Why Skyline West?

Downtowns matter. Downtowns are the essence of communities, but today's downtowns are the product of zoning philosophies that segregated communities by function: industrial, business, residential, retail, recreational. Scranton native Jane Jacobs fought this school of zoning, fearing that it would make cities less viable. Without going into the history of Bethlehem, it is accurate to say that rather than change from its early twentieth century, ie historical, town center (on both north and south sides) it simply "downsized", succumbing to the wave of suburbanization, shopping malls, single family housing developments, industrial parks and in the words of James Howard Kunstler "The Geography of Nowhere." Historic preservation, along with aggressive arts strategies and timely investments by small business retailers, restaurateurs and hoteliers, have revived the Moravian Historic District from its dire straits between 1970's and 2000's.

But to keep those investors, and attract others, Bethlehem's historic downtown needs greater density with residents who can financially support the businesses. The downtown, small as it is, is the feature attraction for the historic district. To maintain, and even enhance the downtown's attraction, high density market rate residential properties in close proximity to Main and Broad Streets are needed. One of the criticisms when Money Magazine named Bethlehem the best place to retire in the Northeastern United States was that those seeking center city modern housing (new condominiums and apartments) would be disappointed. Millennials, who are now exceed baby boomers in the workforce and who are important customers for the restaurants, bars, shops and entertainment venues in the downtown, are seeking an urban lifestyle, which includes access to recreational opportunities and walkability.

Bethlehem's historic district downtown is now in competition with other local downtowns such as Easton, Allentown and SouthSide Bethlehem for people who are more interested in an urban lifestyle. The north side downtown lacks the dramatic entertainment offerings of State Theatre, SteelStacks, Zoellner Arts Center, PPL Arena, but does host many cultural amenities like museums, festivals, concerts and art galleries.

The location for Skyline West was chosen because it will make a dramatic statement that Bethlehem's historic district downtown is open to new people, new ideas and new businesses. By using this dramatic setting, with great views of Bethlehem's iconic Star, South Mountain and the Monocacy Creek, Skyline West offers access to the downtown parks along the Monocacy Creek and Lehigh River, as well as to the downtown and the west Broad Street retail district.

The design of Skyline West incorporates respect for its natural surroundings and for the historical nature of the district. When completed the 50 apartment units will have balconies partially shaded by trees growing on the hillside below it. Preservation of the natural flora is a primary goal of the project.

DESIGN ELEMENTS

The building was designed as a long and narrow building whose “headhouse” frontage meets Broad street at a set-back. This narrow end presents a face and massing to the street that is sensitive to the scale of surrounding buildings, albeit buildings that are actually at quite a distance from the structure as they sit across the wide expanse of Broad Street at the foot of the historic Broad Street bridge and across the overpass bridge across Route 378. The primary context for the site, is thus its natural environment. At the front of the building a landscaped and cobblestone-paved court provides a gracious entry to the apartments to pedestrians or vehicles that slip into the parking ramp.

The frontage of the building is composed of a series of volumes and walls clad in natural stone, brick and cast stone. The main volume is a warm limestone color with punched openings of various proportions. That volume is anchored by a reddish slate colored brick tower that expresses the buildings stairs and elevators. A setback of sky-hued glass tops the building and provides a vanishing cap over the stone parapet. A transparent glass and terne-coated zinc entry porch and vestibule brings people into the building.

The long sides of the building vary in character and materials, depending on their orientation. The apartment side of the building faces east to the sloping woods, where the filtered view of downtown Bethlehem, Monocacy Valley and South Mountain unfolds. This orientation is composed of a finely-scaled patchwork quilt of glass, and solid neutral-toned panels accented with wood panels that blend with its surroundings. Long balconies line the side of the building, providing further depth and profile to that face of the building. This east façade is framed by a band of the same limestone colored masonry that fronts the building on Broad Street. On the opposing facade, the corridor side of the building facing west and Route 378, is a more opaque composition of textured and neutral darker taupe-grey panels with occasional slot windows. This elevation will blend with the woods as it provides an acoustic buffer to the Route 378.

To negotiate the sloping and waving contours of the hillside, the long and narrow building gently bends with those contours to achieve a nuanced profile. The parking deck, which hovers over the contours as it slopes to follow the dropping topography, is clad with a vertical series of wood strips that further blend it with the vertical lines of the wooded hillside.

DESIGN PRINCIPLES REVIEW CRITERIA FOR NEW CONSTRUCTION

As noted earlier, the primary context for the site is its broader historic context as well as its immediate natural context. The building sits in relative isolation from other structures as it occupies the thin sliver of land in between two bridges, and the Route 378 Right-of-Way to the

West and the drop of the Monocacy Creek Valley to the East. This is a factor in reviewing how the criteria for new construction fits within the unique immediate context of the site. Thusly:

- **Scale: Height and Width - Proportions and size of the addition/new building compared with existing building/neighborhood buildings.** The new building's Broad Street frontage frontage is in-keeping with the height and width of nearby buildings along that Street and its height is within the 60-foot height zoning controls. The building's length is similar to the residential building just south on Conestoga Street, yet its length is screened by its wooded site.
- **Building Form and Massing - Three-dimensional relationship and configuration of the addition/new building footprint, its walls and roof compared with existing building/neighborhood buildings.** The building's form and massing is compatible and mindful of its broader context, and it is appropriate to the site. The building has no immediate adjacent neighbors, yet it is in keeping with the scale of its site.
- **Setback: Yards (Front, Side and Rear) - Distance of the addition/new building to the street and property lines when compared with the existing building or other buildings on block.** The building has a fitting setback from Broad Street that provides for a gracious cobble stoned entry court. The setback is also the appropriate dimension to provide for strong pedestrian connection and experience along Broad Street. The generous side and rear yard setbacks within its wooded site provide an excellent buffer to the busy Route 378 and neighborhood to the West and the Monocacy Valley to the East.
- **Site Coverage - Percentage of the site that is covered by addition/new building, compared to comparable nearby sites.** At 32% of the 2.3657 acre combined lot (of 143 W. Broad Street plus land being acquired from the Redevelopment Authority) site coverage is far below the average for most lots in the Historic District but is appropriate to this wooded site.
- **Orientation - The location of the front of the addition/new building and its principal entrance relative to other buildings on the block.** The principal orientation and entrance to the building suitably addresses the Broad Street Frontage head-on. Its entrance also receives the curving balustrade of the Broad Street bridge and its sidewalk as part of its cobbled entry court.
- **Architectural Elements and Projections - The size, shape, proportions and location of doors, porches, balconies, chimneys, dormers, parapets and elements that contribute to an overall building's shape and silhouette relative to neighborhood buildings.** The size and proportion of the architectural elements – such as the brick stair tower, the street-front porch, and the lower stone-faced volume that defines the entry court contribute to the overall building's shape and silhouette relative to character of the site, which has no immediate neighboring buildings.

- **Alignment, Rhythm and Spacing - The effect the addition/new building will have on the existing street patterns.** The building is by itself on the “peninsula” between the bridges, so there is no immediate street pattern reference to speak of. The building, however, is compatible with the datum line of buildings further down the street along Broad Street.
- **Façade Proportions: Window and Door Patterns - The relationship of the size, shape and location of the addition/new building façade and building elements to each other, as well as to other buildings on the existing building/block.** The proportions of the new building’s façades are consistent with their respective orientations: towards the street frontage as a façade that is part of the overall Broad Street pedestrian-oriented frontage, towards the Monocacy Valley view as a façade that is a quilt of varied materials as it presents itself filtered by the woods, and towards Route 378 and the neighborhood to the West as it presents itself as a buffering textured screen wall that blends with the trees. Each façade is appropriately scaled and attuned to its circumstances
- **Trim and Detail - The moldings, decorative elements and features of a building that are secondary to major surfaces such as walls and roofs and how they related to the existing and neighboring buildings.** The secondary trim and materials of the new building are finely scaled and compatible with the level of quality and scale of neighboring buildings.
- **Materials - The products with which something is composed or constructed and how they related to the existing and neighboring buildings.** The solid masonry materials – natural stone, brick and cast limestone of the new building is compatible with the noble nature of the materials with which the better buildings on Broad Street and the adjoining district were constructed.